

SPECIFICATION : Building Classification 1a

GENERAL NOTES:
G.1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH THEIR WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT/ENGINEER FOR DECISION BEFORE PROCEEDING WITH THE WORK.
.2. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DRAWINGS.
.3. SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE BUILDER.
.4. DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVER STRESSED.
.5. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITIONS OF THE AS CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING STATE AUTHORITY.
.6. THIS REPORT IS BASED ON INFORMATION SUPPLIED BY THE CLIENT. IF ANY ASPECT OF THE SITE PREPARATION OR PROPOSED CONSTRUCTION CHANGES FROM THAT ORIGINALLY ADVISED, THE ENGINEER MUST BE NOTIFIED SO THAT NECESSARY AMENDMENTS CAN BE MADE.
.7. DEVELOPMENT APPLICATION DECISION NOTICE - FOR WORK REQUIRING BUILDING APPROVAL, THE DEVELOPMENT APPLICATION DECISION NOTICE, ISSUED BY THE COUNCIL OR BUILDING CERTIFIER MUST BE FORWARDED TO US PRIOR TO ARRANGING ANY INSPECTIONS WITH THIS OFFICE.
SITE CLASSIFICATION NOTES:
S.C.1. THIS REPORT HAS BEEN BASED UPON INFORMATION PROVIDED TO OUR OFFICE AND/OR GATHERED BY OUR STAFF.
.C.2. THIS REPORT HAS BEEN PREPARED IN ACCORDANCE WITH AS 2870 AND ELEVANT STATE LEGISLATION.
.C.3. SHOULD SOIL CONDITIONS ENCOUNTERED ON SITE DIFFER SIGNIFICANTLY FROM THOSE INDICATED IN THE SOIL TEST NOTED ABOVE, THE ENGINEER MUST BE NOTIFIED BEFORE PROCEEDING AS THE SITE CLASSIFICATION MAY NEED REVISING AND MODIFICATIONS TO THE DESIGN MAY BE REQUIRED.
.C.4. THE SITE INVESTIGATION MAY BE RENDERED IRRELEVANT IF THE LOCATION OF PROPOSED STRUCTURES VARY FROM THAT SPECIFIED AT THE TIME OF THIS REPORT. THIS REPORT RELATES TO THE CONDITIONS EXISTING ON THE LAND AT THE TIME OF THE SITE INVESTIGATION. THIS REPORT IS BASED UPON THE PROPOSED CUT / FILL INFORMATION PROVIDED BY THE CLIENT. ANY ADVISED EXTENSIVE CUTTING OR FILLING MAY RENDER THIS REPORT IRRELEVANT.
.C.5. WHILE A REASONABLE EFFORT IS MADE TO ASSESS THE SITE'S SUITABILITY FOR THE PROPOSED CONSTRUCTION, THIS REPORT DOES NOT TAKE INTO ACCOUNT SLOPE STABILITY. IF REQUIRED BY THE COUNCIL, A SUITABLY QUALIFIED PERSON SHOULD BE ENGAGED TO UNDERTAKE A SLOPE STABILITY ASSESSMENT.
MISCELLANEOUS NOTES:
M.1. WHERE TERMITE PROTECTION IS REQUIRED, INSTALL IN ACCORDANCE WITH AS3660.
BUILDER SHALL CONFIRM WITH OWNER THE PREFERRED METHOD OF TERMITE MANAGEMENT. OWNER IS RESPONSIBLE FOR ONGOING INSPECTION OF STRUCTURAL TIMBER ELEMENTS AND ENSURING THAT TERMITE MANAGEMENT SYSTEMS ARE NOT BREACHED.
.2. THE RECOMMENDED DISTANCE THAT A NEW TREE SHOULD BE LOCATED FROM A DWELLING WOULD BE EQUAL OR GREATER THAN 75% OF THE MATURE HEIGHT OR CLASS M SITES, 100% OF THE MATURE HEIGHT FOR CLASS H1 & H2 SITES, 50% OF THE MATURE HEIGHT FOR CLASS E SITES.
DRAINAGE NOTES:
1. ALL WORKMANSHIP AND MATERIAL SHALL BE IN ACCORDANCE WITH AS2870.
2. DRAINAGE SHALL BE CONSTRUCTED TO AVOID WATER PONDING AGAINST OR NEAR THE FOOTING. THE GROUND IN THE IMMEDIATE VICINITY OF THE PERIMETER FOOTING, INCLUDING THE GROUND UPHILL FROM THE SLAB ON CUT-AND-FILL SITES, SHALL BE GRADED TO FALL 50mm MINIMUM AWAY FROM THE FOOTING OVER A DISTANCE OF 1.0m. SURFACE OR SUBSURFACE DRAINS SHALL BE USED TO CHANNEL WATER AWAY AND CONNECT TO STORMWATER SYSTEM. ANY PAVING SHALL ALSO BE SUITABLY SLOPED.
3. PLUMBING TRENCHES SHALL BE SLOPED AWAY FROM THE HOUSE AND SHALL BE BACKFILLED WITH CLAY IN THE TOP 300mm WITHIN 1.5m OF THE HOUSE. THE CLAY USED FOR BACKFILLING SHALL BE COMPACTED. WHERE PIPES PASS UNDER THE FOOTING SYSTEM, THE TRENCH SHALL BE BACKFILLED WITH CLAY OR CONCRETE TO RESTRICT THE INGRESS OF WATER BENEATH THE FOOTING SYSTEM.
4. EXCAVATIONS NEAR THE EDGE OF THE FOOTING SYSTEM SHALL BE BACKFILLED ON SUCH A WAY AS TO PREVENT ACCESS OF WATER TO THE FOUNDATION. FOR EXAMPLE, EXCAVATIONS SHOULD BE BACKFILLED ABOVE OR ADJACENT THE FOOTING WITH MOIST CLAY, COMPACTED BY HAND-RODDING/TAMPING. POROUS MATERIAL SUCH AS SAND, GRAVEL OR BUILDING RUBBLE SHOULD NOT BE USED.
5. WATER RUN-OFF SHALL BE COLLECTED AND CHanneled AWAY FROM THE HOUSE DURING CONSTRUCTION. 6. PENETRATIONS OF THE EDGE BEAMS AND FOOTING BEAMS ARE TO BE AVOIDED, BUT WHERE NECESSARY SHALL BE SLEEVED TO ALLOW FOR MOVEMENT.
7. CONNECTION OF STORMWATER DRAINS AND WASTE DRAINS SHALL INCLUDE FLEXIBLE CONNECTIONS.
8. ADDITIONAL PLUMBING REQUIREMENTS ARE NEEDED FOR MODERATELY, HEAVILY & EXTREMELY REACTIVE SITES IN ACCORDANCE WITH CLAUSE 6 FROM AS 2870.9. PLUMBING & DRAINAGE UNDER THE SLAB SHOULD BE AVOIDED WHERE PRACTICAL (REFER AS/NZS 3500 CLAUSE 4.10)

D.10. ALL PIPEWORK INCLUDING STORMWATER FITTINGS & ADAPTERS SHOULD BE PROTECTED FROM MECHANICAL DAMAGE. 11. PROVISIONS SHOULD BE MADE FOR THE CONNECTION OF OVERFLOW OR WATERYISCHARGE FROM FIXTURES SUCH AS HOT WATER SYSTEMS & AIR CONDITIONERS TO A DRAIN AS REQUIRED BY THE RELEVANT LOCAL AUTHORITY.
PROPERTY MAINTENANCE NOTES:
P.1. THIS DESIGN IS BASED UPON THE NORMAL FOOTING PERFORMANCE CRITERIA PROVIDED IN TABLE 2.2 OF AS8270-2011 WITH DAMAGE CATEGORIES DETAILED IN APPENDIX C. IF THESE PERFORMANCE CRITERIA IS SUITABLE FOR THIS DWELLING PLEASE CONSULT THIS OFFICE FOR ADDITIONAL ENGINEERING ADVISE AND DESIGN SERVICES.
2. THE OWNER'S ATTENTION IS DRAWN TO APPENDIX B 'PERFORMAN CRITERIA AND FOUNDATION MAINTENANCE' AND APPENDIX CLASSIFICATION OF DAMAGE DUE TO FOUNDATION MOVEMENTS' OF AS2870-2011.3. WE ALSO DIRECT THE OWNER TO THE CSIRO PUBLICATION BTF 18 FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE: A HOME OWNER'S GUIDE'. COPIES OF THIS PUBLICATION ARE AVAILABLE FROM CSIRO PUBLISHING ON PH: 1300-788-000 OR AT <http://www.publish.csiro.au/nid/18/pid/3612.htm>. THIS REPORT MAY BE RENDERED INVALID IF THE PROPERTY IS NOT MAINTAINED AS RECOMMENDED IN THIS PUBLICATION.
THE LONG TERM PERFORMANCE OF DWELLING FOOTINGS IS DEPENDANT CONTRATORS SUCH AS SITE DRAINAGE, VEGETATION AND WATERING OF AREAS ADJACENT TO THE DWELLING.
WATERING OF LAWNS AND GARDENS SHOULD BE CONSISTENT. OVER WATERING CAN DAMAGE FOOTINGS. EQUALLY FOOTINGS MAY BE DAMAGED BY PROLONGED PERIODS OF NEGLECT AFTER YEARS OF CAREFUL WATERING.
LEAKING TAPS AND PIPES AND BLOCKED DRAINS SHOULD BE REPAIRED PROMPTLY. PROLONGED NEGLECT CAN LEAD TO DAMAGED FOOTINGS.
ARTICULATED MASONRY NOTES: 1. THIS DESIGN ASSUMES THAT MASONRY ARTICULATION JOINTS WILL BE INSTALLED UNLESS NOTED OTHERWISE ON FOOTING & SLAB PLAN. ANY MASONRY ARTICULATION JOINTS SHALL BE POSITIONED IN ACCORDANCE WITH TECHNICAL NOTE 61 PRODUCED BY CEMENT CONCRETE & AGGREGATE AUSTRALIA AND AS 3700 SECTION 12.16.4. REFER TO TABLE BELOW FOR MAXIMUM SPACING AND MASONRY ARTICULATION PLAN (IF PROVIDED) FOR PECIFIC LOCATIONS AND DETAILS FOR RENOVATIONS OR EXTENSIONS TO EXISTING STRUCTURES. 2. MASONRY ARTICULATION JOINTS SHALL BE POSITIONED WHERE EVER NEW BRICKWORK MEETS OLD BRICKWORK. WHERE MASONRY ARTICULATION IS SHOWN BESIDE OPENINGS WITH BRICKWORK ABOVE THE OPENING, CARE SHOULD BE TAKEN TO PROVIDE A LIP JOINT AROUND THE END OF THE LINTEL. WHERE MASONRY ARTICULATION IS SHOWN BESIDE OPENINGS, THE JOINT IS TO CONTINUE BETWEEN THE WINDOW/DOOR FRAME AND THE BRICKWORK
THE FULL HEIGHT OF THE WALL. AT THESE LOCATIONS, THE FRAMES ARE TO BE FIXED WITH FASTENERS THAT WILL ALLOW MOVEMENT OF THE JOINT.
FOUNDATIONS AND FOOTINGS:
F.1. FOOTINGS SHALL BE PLACED CENTRALLY UNDER WALLS AND COLUMNS UNLESS OTHERWISE NOTED. ALL WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH AS 2870 & NATIONAL CONSTRUCTION CODE (N.C.C.). THE FOOTING DETAILS SHOWN ARE FOR THE SITE CLASSIFICATION STIPULATED. WHILST EVERY CARE HAS BEEN TAKEN TO VERIFY THAT THE INFORMATION SHOWN IS CORRECT, STRUCTERRE CONSULTING ENGINEERS ARE NO RESPONSIBILITY FOR VARIATIONS WHICH MAY OCCUR DUE TO VARIATIONS IN SITE CONDITIONS. FILL USED IN THE CONSTRUCTION OF A SLAB EXCEPT WHERE THE SLAB IS SUSPENDED SHALL CONSIST OF A CONTROLLED FILL OR ROLLED FILL IN ACCORDANCE WITH AS 2870.1. ROLLED FILL CONSISTS OF MATERIAL COMPACTED IN LAYERS BY REPEATED ROLLING WITH AN EXCAVATOR. ROLLED FILL SHALL NOT EXCEED 600mm COMPACTED IN LAYERS NOT MORE THAN 300mm FOR AND MATERIAL OR 400mm COMPACTED IN LAYERS NOT MORE THAN 50mm FOR OTHER MATERIAL. CONTROLLED FILL CONSISTS OF WELL GRADED SAND FILL UP TO 800mm YEEP, WELL COMPACTED IN NOT MORE THAN 300mm LAYERS BY VIBRATING PLATE OR VIBRATING ROLLER. NO SAND FILL UP TO 400mm DEEP, WELL COMPACTED IN NOT MORE THAN 150mm LAYERS BY A MECHANICAL ROLLER. CLAY FILL SHOULD BE MOIST DURING COMPACTION. THE DEPTHS OF FILL GIVEN ABOVE ARE DEPTHS MEASURED AFTER COMPACTION. FOR COMPACTED DEPTHS GREATER THAN THAT GIVEN ABOVE THE FILL SHALL BE SUBJECT TO CONTROL AND TESTING. IF TEST FAILS THEN PIERS ARE REQUIRED. CONTACT THIS OFFICE PRIOR TO FURTHER CONSTRUCTION. TOP SOIL CONTAINING GRASS ROOTS OR OTHER ORGANIC MATERIAL SHALL BE REMOVED FROM THE AREA ON WHICH THE SLAB IS TO REST. IF ANY FOOTING IS LOCATED SUCH THAT A LINE DRAWN AT 45 DEGREES (FOR LAY AND 30 DEGREES FOR SAND) FROM ITS BASE INTERSECTS A PRIVATE SERVICE TRENCH, THEN PIERS ARE REQUIRED. SEE FOOTING & SLAB DETAILS FOR EXAMPLE. FOOTING & SLAB PIERS ARE REQUIRED WHERE UNCONTROLLED FILL UNDER THE EDGE BEAM/SLAB IS PRESENT.

NCC 2022 TYPICAL CONSTRUCTION NOTES HOUSING PROVISIONS STANDARDS CLAUSES REFERENCED
> SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH CLAUSES 9.5.1, 9.5.2 & 9.5.4
> WET AREAS WITH NON-COMPLIANT NATURAL VENTILATION MUST INCLUDE ADDITIONAL VENTILATION OF 14,000MM2 TO ADJACENT ROOM IN ACCORDANCE WITH CLAUSE 10.8.2(5)(A)
- TO BE ACHIEVED BY A FIXED DISTANCE BETWEEN THE BOTTOM OF THE DOOR AND FINISHED FLOOR, OR BY A COMPLIANT DOOR GRILL. REFER TO SPECIFIC FLOOR PLAN NOTES WHERE REQUIRED
WHERE A FLOOR WASTE IS INSTALLED TO A WET AREA, THE MINIMUM CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:80 AND THE MAXIMUM MUST BE 1:50, IN ACCORDANCE WITH CLAUSE 10.2.12
> BATHS MUST DISCHARGE UNTRAPPED TO A FLOOR WASTE GULLY WHERE A TRAP IS NOT ACCESSIBLE, SUCH AS A BATH ON GROUND FLOOR SLAB CONSTRUCTION, IN ACCORDANCE WITH AS/NZS 3500.2 AND VOLUME 3 OF THE NCC. MINIMUM FALLS TO THE FLOOR WASTE GULLY MUST BE ACHIEVED IN ACCORDANCE WITH CLAUSE 10.2.12 AND NOTED ABOVE
BATHROOM DOORS WHICH ARE WITHIN 1.2M OF THE CLOSET PLAN TO BE PROVIDED WITH LIFT-OFF HINGES OR OPEN OUTWARDS, OR SLIDE, IN ACCORDANCE WITH CLAUSE 10.4.2
> EXHAUST FANS TO A KITCHEN OR WET AREA ROOMS WITHOUT NATURAL VENTILATION MUST MEET THE FLOW RATES DETAILED IN CLAUSE 10.8.2(1) AND DUCTING TO OUTDOOR AIR IN ACCORDANCE WITH CLAUSE 10.8.2(2)
> WET AREAS WITHOUT NATURAL VENTILATION, MUST INCLUDE A RUN-ON TIMER ON THE EXHAUST FAN. THE FAN MUST BE INTERLOCKED TO THE LIGHT SWITCH AND RUN-ON FOR 10 MINUTES AFTER THE LIGHT IS TURNED OFF, IN ACCORDANCE WITH CLAUSE 10.8.2(4)
> ALL STAIRS, LANDINGS, STAIR FINISHES AND RAMPS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH PART 11.2, INCLUDING READ & RISER DIMENSIONS AS BELOW.
TREAD DEPTH = 240MM MINIMUM & 355MM MAXIMUM
RISER HEIGHT = 115MM MINIMUM & 190MM MAXIMUM
BALUSTRADES TO BE A MINIMUM OF 1000MM HIGH FROM ASSOCIATED FLOOR, STAIR OR LANDING LEVEL IN ACCORDANCE WITH CLAUSE 11.3.3 & 11.3.4
> CHILD PROOF SCREENS MUST BE FITTED TO GROUND FLOOR BEDROOM WINDOWS WHERE THE GROUND IS 2M OR MORE BELOW THE WINDOW SILL. OR WINDOW OPENINGS TO BE RESTRICTED TO 125MM, IN ACCORDANCE WITH CLAUSE 11.3.7.1
> CHILD PROOF SCREENS MUST BE FITTED TO FIRST FLOOR BEDROOM WINDOWS WHERE THE SILL IS LESS THAN 1.7M ABOVE FLOOR LEVEL. OR WINDOW OPENINGS TO BE RESTRICTED TO 125MM, IN ACCORDANCE WITH CLAUSE 11.3.7.2
> CLIMATE ZONE 6 REQUIRES DWELLINGS TO INCLUDE MANDATORY ROOF AND EAVE VENTILATION IN ACCORDANCE WITH CLAUSE 10.8.3
> WHERE ROOFS HAVE PITCHES <12.5°, VALLEY GUTTERS MUST BE DESIGNED AS BOX GUTTERS IN ACCORDANCE WITH AS3500.3 OR AS A PERFORMANCE SOLUTION BY A PROFESSIONAL ENGINEER, IN ACCORDANCE WITH CLAUSE 7.4.4(4)

GENERAL NOTES
> STORMWATER DRAINAGE AS PER STORMWATER PLAN & THE BASIX CERTIFICATE
SEWER DRAINAGE & WASTE WATER TO SYDNEY WATER SEWER MAIN
SEDIMENT CONTROL BARRIER TO COUNCIL SPECIFICATION DURING CONSTRUCTION
AN ALL WEATHER ACCESS CROSSING OF RECYCLED CONCRETE WILL BE PROVIDED DURING CONSTRUCTION
SURVEY LEVELS & CONTOURS TO AUSTRALIAN HEIGHT DATUM (AHD) OR AS INDICATED ON SURVEY PLAN +/-100MM
TERMITE CONTROL CHEMICAL OR PHYSICAL BARRIER TO BE INSTALLED IN ACCORDANCE WITH AS3660
VERIFY ALL DIMENSIONS, LEVELS & EXISTING CONDITIONS ON SITE PRIOR TO COMMENCEMENT OF WORK
ALL WORK & MATERIALS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA (NCC) & RELEVANT STANDARDS AUSTRALIA CODES
FIGURED DIMENSIONS TAKE PREFERENCE TO SCALE - DO NOT SCALE, ASK ALL DIMENSIONS IN MILLIMETRES (MM) UNLESS NOTED OTHERWISE
DRIVEWAY GRADIENT TO COMPLY WITH COUNCIL REGULATIONS
DROP EDGE BEAMS TO BE CONSTRUCTED TO ENGINEERS DETAILS IF REQUIRED.
ALL STRUCTURAL BEAM SIZES, CONNECTIONS & DETAILS TO ENGINEERS SPECIFICATION & DETAILS
ANY RETAINING WALL REQUIRED WILL BE CONSTRUCTED FROM TREATED PINE SLEEPERS, MASONRY OR STONE NOT EXCEEDING 600MM HIGH UNLESS NOTED OTHERWISE
PERMANENT DRIVEWAY WILL BE REINFORCED CONCRETE OR SIMILARLY APPROVED HARDSTAND SURFACE
ANY CONCRETE PATHS TO BE REINFORCED CONCRETE
SURFACE DRAINS WILL BE INCLUDED IN THE LANDSCAPING TO REMOVE SURFACE WATER FROM GRASSED & HARDSTAND AREAS
AGRICULTURAL DRAINS WILL BE INSTALLED BEHIND ALL RETAINING WALLS & CONNECTED INTO THE STORMWATER DRAINAGE SYSTEM
SURVEY DRAWING & INFORMATION OBTAINED FROM SYDNEY REGISTERED SURVEYORS -



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ACCREDITED
BUILDING DESIGNER

experienced & practising designer & builder Since 1997

Client :
Mr & Mrs Meylakh

Project Title :
Proposed Carport at:
Lot B, 20 Wolli Avenue, Earlwood

E
D
C
B

A
No.

17/05/24
Date

DA SUBMISSION
Revision

Not FOR CONSTRUCTION

Note:
-Do not scale off drawings
-All works to be setout by a registered survey
-Builder or contractor to verify all dimensions & levels as well notify the designer of any discrepancies prior to commencing any work
-Refer to Engineers drawings for structural details
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-Not for Construction unless noted otherwise in the issue and revision block

SPECIFICATION

Scale:
NTS

Drawn By:
dbb

Date:
20/02/24

Issue:
DA-A

Drawing No.
00a

NCC and Australian Standards: Building Classification 1a

H1 Structure :

Site Provisions
(deemed to satisfy provision H1D2)
- Structure Provisions to be provided in accordance to section 2 of the housing provisions of the NCC or relavant provision of H1D3 to H1D2 of housing provisions of the NCC or any combination thereof

Site Preparation
(deemed to satisfy provision H1D3)
- Site preparation to be in accordance with the following
* part 3.2 of housing provisions of the NCC as site classed as A.S.M.H or E in accordance to part 4.2.2 of housing provisions of the NCC for earth works associated with a building structure.
*AS4678 for earth retaining
* part 3.4 of housing provisions of the NCC for termite risk management

Footings & Slabs
(deemed to satisfy provision H1D4)
- footings & slabs to be constructed in accordance with AS 2870, AS 3600 where it fall in with the requirements of section 4 of housing provisions of the NCC

Masonry
(deemed to satisfy provision H1D5)
(a) AS3700 or AS4773.1 & AS4773.2 part 5 of the housing provisions of the NCC provided:
(b) wind class N3 & less
(c) comply with H1D4 & part 5.6 using components of part 5.7 of the housing provisions
(d) soil class A.S.M in accordance to AS2870
(e) tied masonry as per H1D6
(f) not located within alpine areas
(g) no earthquake affected design requirements
- cavity brick unreinforced to be constructed in accordance with:
(a) AS3700 or AS4773.1 & AS4773.2
or part 3 of the housing provisions of the NCC provided:
(b) wind class N3 & less
(c) comply with H1D4 & part 5.6 using components of part 5.7 of the housing provisions
(d) soil class A.S.M in accordance to AS2870
(e) tied masonry as per H1D6
(f) not located within alpine areas
(g) no earthquake affected design requirements
- single leaf unreinforced masonry to be constructed in accordance with:
(a) AS3700 or AS4773.1 & AS4773.2 or part 4 of the housing provisions of the NCC provided:
(b) wind class N3 & less
(c) comply with H1D4 & part 5.6 using components of part 5.7 of the housing provisions
(d) soil class A.S.M in accordance to As2870
(e) tied masonry as per H1D6
(f) not located within alpine areas
(g) no earthquake affected design requirements
- reinforced masonry to be constructed in accordance with AS3700 excl... piers or AS4773.1 & AS4773.2

- isolated masonry piers to be constructed in accordance with:
(a) part 8.5.1 of housing provisions of the NCC & section 7 in accordance to tables 10.3 & 4.1 (a)(i)(c) of AS 3700 or part 3 of the housing provisions of the NCC provided
(b) AS4773.1 & AS4773.2
(c) part 5 of the housing provisions of the NCC provided
* wind class N3 & less
*comply with H1D4
*comply with part 5.6.2(4) of the housing provisions of the NCC and have 6.2MPa for solid & core units & 15 MPa fpr hollow units.
*the roof & walls provide lateral bracing for the top of pier as per part 8.5.1 of housing provisions of the NCC & section 7 in accordance to tables 10.3 & 4.1 (a)(i)(c) of AS 3700 or part 3 of the housing provisions of the NCC provided:
(d) soil class A.S.M in accordance to AS2870
(e) not located within alpine areas
(f) no earthquake affected design requirements
- Masonary accessories to be constructed in accordance with:
(a) AS3700 or
(b) AS4773.1 & AS4773.2
(c) part 5.6 of housing provisions of the NCC provided
* wind class N3 & less
* not located within alpine areas
* no earthquake affected design requirements

Framing
(deemed to satisfy provision H1D6)
- Steel framing to be constructed in accordance with NASH standard residential & low rise steel framing Part 1 & 2 AS4100 & AS/NZS4600
- timber framing to be constructed in accordance with AS1684.2 AS1720.5 AS1684.4 & As1860.2 if within a cyclone area AS1684.3
- structural steel sections to be constructed in accordance with AS4100, AS/NZS 4600 & be associated with part 6.3.1 to 6.3.9 of housing provisions of the NCC (not restrictions apply to 6.3.1 to 6.3.1)
- Software in accordance with ABCB protocol for structural software & geometric limits, programs that contain similar tables to AS1684 & NASH standard residential 7 low rise steel framing Part 2 can apply.

Structure Roof & Wall Cladding
(deemed to satisfy provision H1D7)
- slates & shingles as selected to be in accordance with AS4597
- roof tiles as selected to be in accordance with AS2050 or AS2049 & be associated with part 7.3.1 to 7.3.6 of housing provisions of the NCC
- metal sheet roofing as selected to be in accordance with AS1562.1 & be associated with clause 7.2.1 to 7.2.8 of housing provisions of the NCC
- timber & composite wall cladding to be in accordance with AS5146.1 for autoclaved aerated wall cladding or part 7.5.1 to 7.5.8 of housing provisions of the NCC for wall cladding
- metal wall cladding to be in accordance with AS1562.1

Earthquake Areas
(deemed to satisfy provision H1D9)
- class 1 & 10 building to be in accordance with section 2 of the housing provisions of the NCC subject to seismic activity.

Flood Hazard
(deemed to satisfy provision H1D10)
- class 1 to be in accordance with housing provisions of the NCC
Attachment of Framed Decks and Balconies to External walls of Buildings using a Waling Plate
(deemed to satisfy provision H1D11)
- Attachment of framed decks and balconies to external walls of buildings using a waling plate to be in accordance with part 12.3 of housing provisions of the NCC. (subject to conditions)

Piled Footings
(deemed to satisfy provision H1D12)
- piled footings to be in accordance with AS2159.

H2 Damp & Weather Proofing:

Drainage
(deemed to satisfy provision H2D2)
- drainage is to be in accordance with AS7NZS 3500.3 & part 3.3 of the housing provisions of the NCC for
* roofs in areas subject to 5 minute duration rainfall intensities of not more than 255mm per hour over an annual exceedance probability of 5% (as per table 7.4.3d of the ABCB Housing Provisions) where a drainage system is required and
* sub-soil areas where excessive soil moisture problems may occur
* land adjoining and under buildings.

Footings & Slabs
(deemed to satisfy provision H2D3)
- footings & slabs to be provided in accordance with H1D4 (1) or (b)

Masonry
(deemed to satisfy provision H2D4)
- masonry walls to be provided in accordance with either AS3700 , AS4773.1 & AS4773.2 or part 5.7.1 to 5.7.6 in accordance to H1D5

Subfloor Ventilation
(deemed to satisfy provision H2D5)
- foundations areas to be provided with access & subfloor ventilation to be in accordance with part 6.2.1 of housing provisions of the NCC

Weather Proofing Roof & Wall Cladding
(deemed to satisfy provision H2D5)
- gutters & downpipes to be in accordance with AD/NZS3500.3 & part 7.4.1 to 7.4.7 of housing provisions of the NCC

Glazing
(deemed to satisfy provision H2D7)
- glazing to be in accordance with H1D8(1) of the NCC

External Waterproofing
(deemed to satisfy provision H2D8)
- external waterproofing to be in accordance with AS4654.1 & AS465.42 which is also applied to roofing systems with H1D7(2) & (3) , terraces, balconies, suspended concrete slabs & spaced decking in conjunction to framing that are suitable for external use.

H3 Fire Safety:

Fire Hazard properties & non-combustible Building elements -(to be provided in accordance to H3D2)
- Flexible ductwork used for the transfer of products initiating from a heat source that contains a flame must comply with the fire hazard properties set out in AS4254.1.
Fire separation from External Walls
(deemed to satisfy provision H3D3)
- fire separation from external walls to be provided in accordance to part 9.2.1 to 9.2.10 of housing provisions of the NCC
Fire protection of separating walls & floors
(deemed to satisfy provision H3D4)
- fire separation from external walls to be provided in accordance to part 9.3.1 to 9.3.4 of housing provisions of the NCC
Fire separation of garage top dwellings
(deemed to satisfy provision H3D5)
-fire separation of garage-top-dwellings to be provided in accordance to part NSW 9.4.1 to NSW 9.4.3 of housing provisions of the NCC.
Smoke Alarms & evacuation Lighting
(deemed to satisfy provision H3D3 & H3D6)
- smoke alarms and evacuation lighting to be provided in accordance to part 9.5.1 to 9.5.5 of housing provisions of the NCC AS3786 & AS1670.1
Eaves Lining / Vertical Lining / Non Combustible / Eaves Setback
Vertical lining eave separation H3D4 Part 9.2 & 9.3


H4 Health & Amenity:

Wet Areas Waterproofing
(deemed to satisfy provision H4D2)
- wet areas to be provided in accordance with part 10.2.1 to 10.2.32 of housing provisions of the NCC.
Materials & Installation of wet area components & systems
(deemed to satisfy provision H4D3)
- Materials and installation of wet area components and systems to be provided in accordance to part 10.2.1 to 10.2.6 of housing provisions of the NCC & comply with either AS3740 & part 10.2.12 of housing provisions of the NCC or part 10.2.7 to 10.2.32 of housing provisions of the NCC.
Room Heights Habitable & Non Habitable
(deemed to satisfy provision H4D4)
- room heights to be provided in accordance to part 10.3.1 of the housing provisions of the NCC.
Facilities
(deemed to satisfy provision H4D5)
- facilities to be provided in accordance to part 10.4.1 to 10.4.2 of the housing provisions of the NCC.
Light
(deemed to satisfy provision H4D6)
- light to be provided in accordance to part 10.5.1 to 10.5.2 of the housing provisions of the NCC.
Ventilation / Mechanical
(deemed to satisfy provision H4D4 & H4D7)
- ventilation to be provided in accordance to part 10.6.1 to 10.6.3 of the housing provisions of the NCC.
Sound Insulation
(deemed to satisfy provision H4D8)
- sound insulation to be installed in accordance to part 10.7.1 to 10.7.8 of the housing provisions of the NCC.

Condensation Management
(deemed to satisfy provision H4D9)
- condensation management systems to be installed in accordance with 10.8.1 to 10.8.3 of housing provisions of the NCC.
H5 Safe Movement & Access:
Wash Facilities & Washtub
- clothes washing facilities, comprising at least one washtub and space in the same room for a washing machine; and 10.4 of NCC.
Stairway & Ramps Construction
(deemed to satisfy provision H5D2)
- stairs & ramps to be in accordance to part 11.2 of housing provisions of the NCC.
- barriers & handrails to be in accordance to part 11.3 of housing provisions of the NCC.
Window Protection
- window protection to bedrooms & to other rooms other than bedrooms to be in accordance to housing provisions 11.3.7 to 11.3.8 of NCC.
Lift Off Hinges / Construction of sanitary compartments
open outwards; or slide; or be readily removable from the outside of the compartment,unless there is a clear space of at least 1.2 m


Additional:

all aspects of construction to be complaint with relevant performance requirements of the NCC and Australian Standards including, but not limited to, the following:
garage and driveway profiles/grades to comply in accordance with associated standards AS2890
Termite Control Measures:
- redstop pipe penetration
- granite guard application to perimeter wall in accordance with AS3660.1 Clause 6.59 & 6.60
Vertical Articulation Joints
-vertical articulation joints to be as per 5.6.8 of ABCB housing provisions.
Stairs, Ramps & Balustrade note:
- stairs will be constructed in accordance with the requirements of Clause 11.2.2 to the housing provisions of the NCC.
- finishes of all stairs will meet the requirements of Clause 11.2.4 of the housing provision of the NCC.
-any landings will meet the requirements of Clause 11.2.5 to the housing provisions of the NCC.
- ramps will be constructed in accordance with the requirements of Clause 11.2.3 of the housing provisions of the NCC.
-thresholds will be constructed in accordance with the requirements of Clause 11.2.6 of the housing provisions of the NCC.
- stairs will be serviced by a handrail in accordance with the requirements of Clause 11.3.1 to 11.3.6 of the housing provisions of the NCC.
- the balustrades servicing the dwelling (both internal & external) of the housing provisions of the NCC.
Wet Area Flashing
-to be in accordance to AS3740 or housing provisions 10 of NCC.
Steel Beam / Penetrations
Steel beams not to penetrate party wall
(CHECK FOR DUAL OCCUPANCIES & MULTI-DWELLING)



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SPECIFICATION

Scale:
NTS

Drawn By:
dbb

Date:
20/02/24

Issue:
DA-A

Drawing No.

00b

NOTES:

- THIS SURVEY IS A CONTOUR AND DETAIL SURVEY, WHOSE PURPOSE IS NOT TO DEFINE BOUNDARIES.
- POSITION OF BOUNDARY IS INDICATIVE ONLY AND VIA SUBJECT DP DIMS. RELATIONSHIP BETWEEN BOUNDARIES AND ANY IMPROVEMENTS IS PURELY DIAGRAMATIC AND NOT INTENDED TO BE USED AS THOUGH IT WERE A TRUE INDICATION OF IT'S POSITION.
- FURTHER SURVEY IS REQUIRED, TO ACCURATELY DETERMINE POSITION OF BOUNDARIES.
- SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY AND VISUAL IDENTIFICATION.
- PRIOR TO THE COMMENCEMENT OF ANY WORKS, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO DETERMINE THE EXACT LOCATION OF ANY UNDERGROUND PIPES, CABLES ETC.
- DIMENSIONS OF ANY TREES ARE APPROXIMATE
- SPOT LEVELS TAKE PRECEDENCE OVER CONTOURS
- ORIGIN OF LEVELS SSM 130996 INT'N WOLLI AVE AND SHAW AVE RL 39.677 A.H.D.

TOTAL AREA OF EXISTING IMPERMEABLE AREAS

RESIDENCE AND ENTRY PORCH 169.09m2
PATHWAY AND STEPS 5.76m2
POOL AND PAVED COPING 43.86m2
TOTAL 218.71m2
THEREFORE TOTAL AREA OF PERMEABLE SURFACES EQUALS 242.51m2
(UNROOFED TIMBER DECKING AND STEPS CLASSED AS PERMEABLE AREAS 24.12m2)

DEMOLITION WORK
HOURS:
MONDAY - FRIDAY
7AM - 5PM

ESTIMATE TIME FOR
DEMOLITION
COMPLETION 1 WEEK

NOTES

1. ALL RUN OFF AND SEDIMENT CONTROL STRUCTURES WILL BE MAINTAINED IN A FUNCTIONAL CONDITION
2. REVEGETATION WORK&MAY MULCHING MUST USE STRAW THAT IS GUARANTEED WEED FREE AND A "DRYLAND" SEED MIXTURE IN ALL APPLICATIONS
3. AREAS NOT USED FOR BUILDING SHOULD BE RETAINED WITH VEGETATION
4. REVEGETATION ON RETAIN CUT AND FILLS AS SOON AS POSSIBLE DURING CONSTRUCTION

dbb

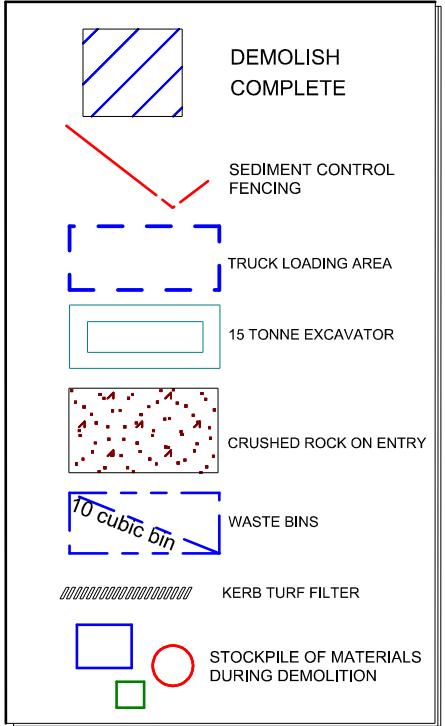
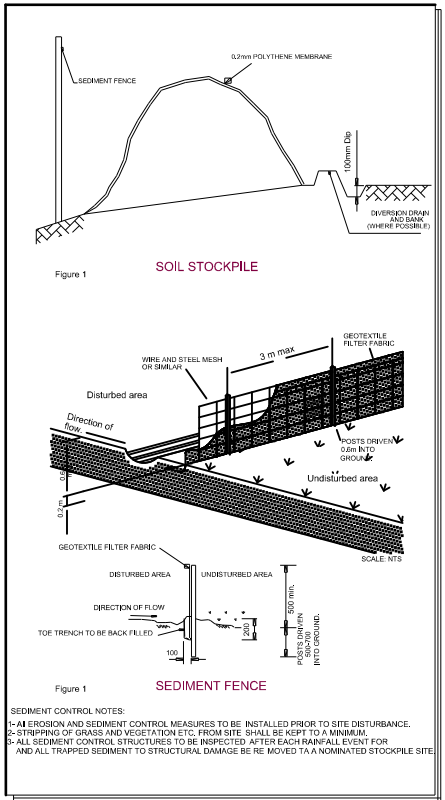
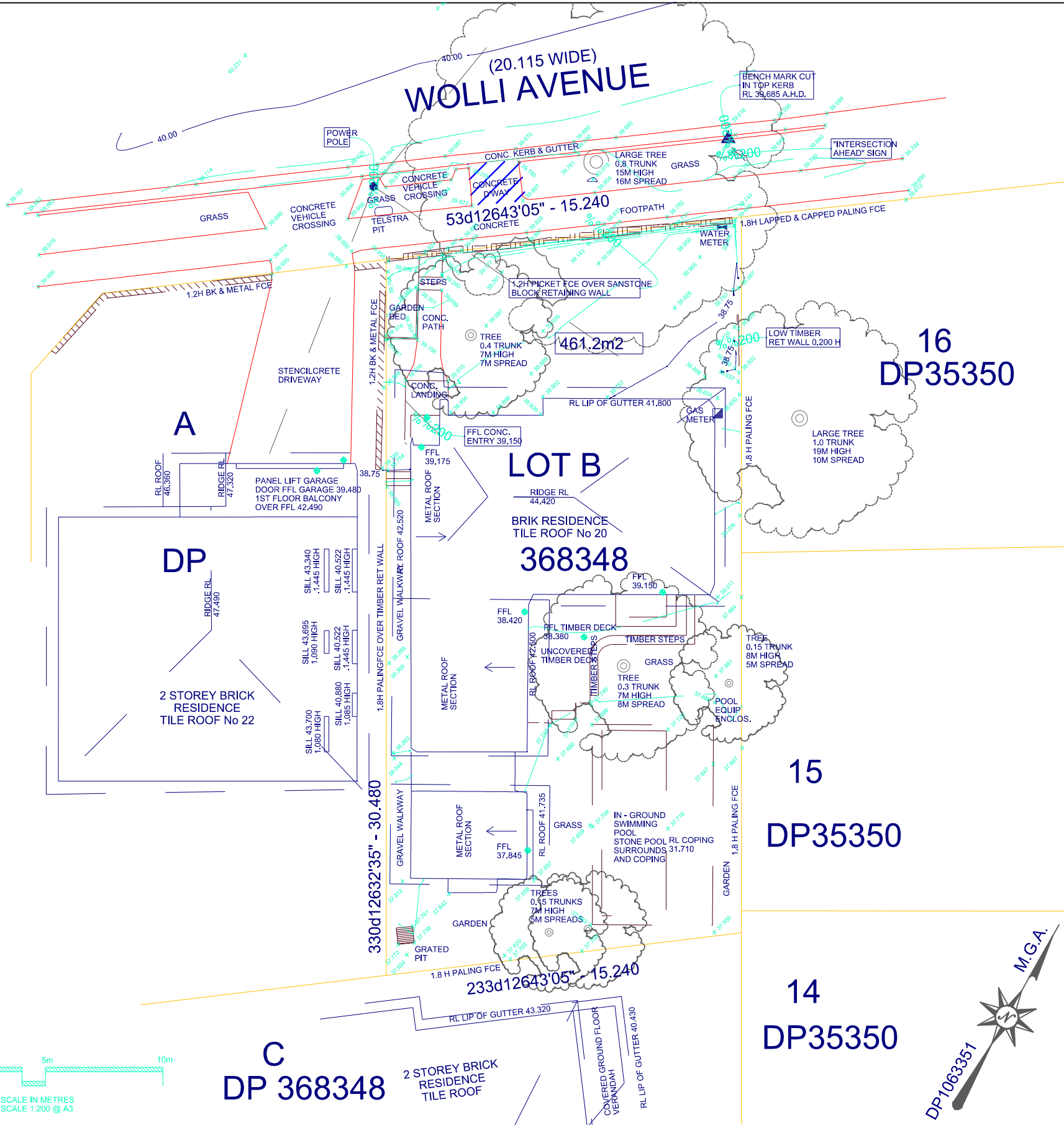
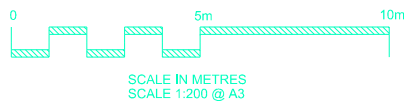
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DEMOLITION & EXISTING SITE PLAN

Scale: 1:200

Drawn By: dbb

Date: 20/02/24

Issue: DA-A

Drawing No. 01

STORMWATER NOTE:
STORMWATER AS PER HYDRAULICS ENGINEER'S
PLANS AND BASIX REQUIREMENTS ALL IN
ACCORDANCE WITH AUSTRALIAN STANDARD 3500.3

CALCULATIONS
Calculated Total Site Area : 461.20m2

FLOOR SPACE
FSR allowed : 230.60m2 / 50%
Existing FSR remains 142.20m2 (Proposed Carport Only)
(COMPLIES NUMERICALLY)

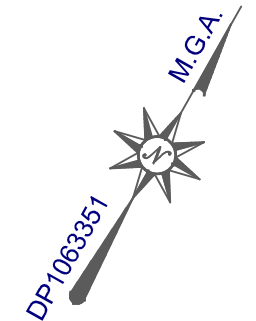
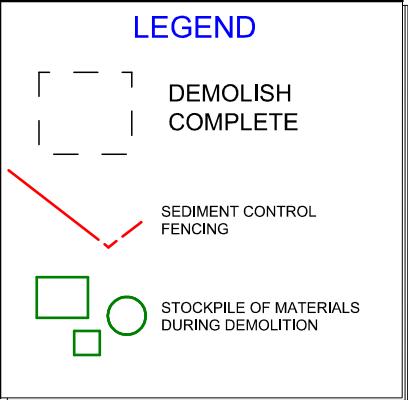
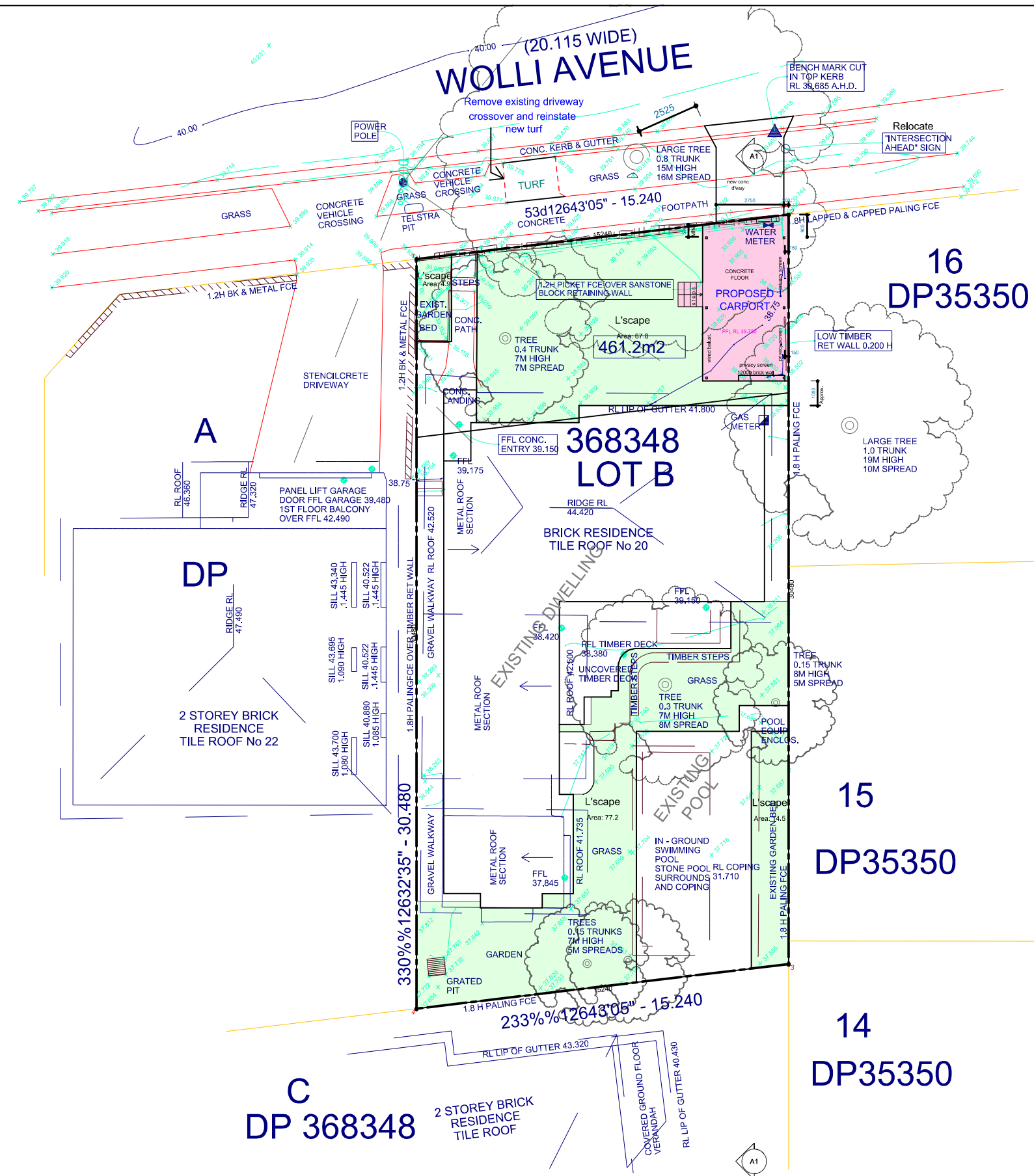
PRIVATE OPEN SPACE
Existing : 163.75m2

CARPARKING PROPOSED
Dwelling 1 SPACE

LANDSCAPING (34.60%)
Dwelling : 164.40m2

SITE COVERAGE
- BUILDING FOOTPRINT MAX. 330.0m2 - Actual 159.70m2
- Carport, Patio, Portch and Pool are Excluded
Total all structures 159.70m2 (34.62%)

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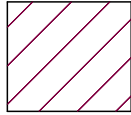
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PROPOSED SITE PLAN

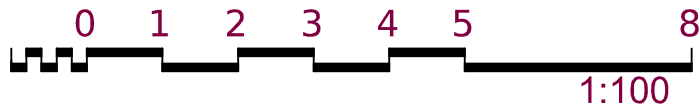
Scale: 1:200	Drawn By: dbb	Drawing No. 02
Date: 20/02/24	Issue: DA-A	

LEGEND



DEMOLISH
COMPLETE

Floor Plan Legend	Proposed Ground/ Floor Level
	CSD Cavity Sliding Door
	CT Ceramic Tiling
	DP Downpipe
	DR Drain
	FW Floor Waste
	GA Gas Point
	LOH Lift Of Hinges
	RT Selected Roof Tiles
	SF Selected Flooring
	STC Steel Troweled Concrete
	TFT Terra-Cotta Floor Tiles
	PTF Polished Timber Flooring
	SA Smoke Alarms AS3786-2014






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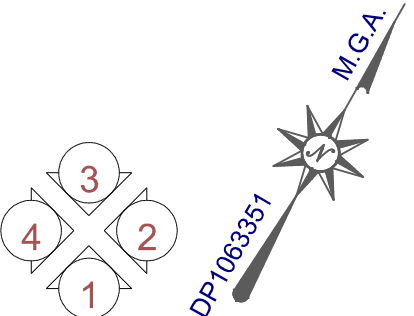
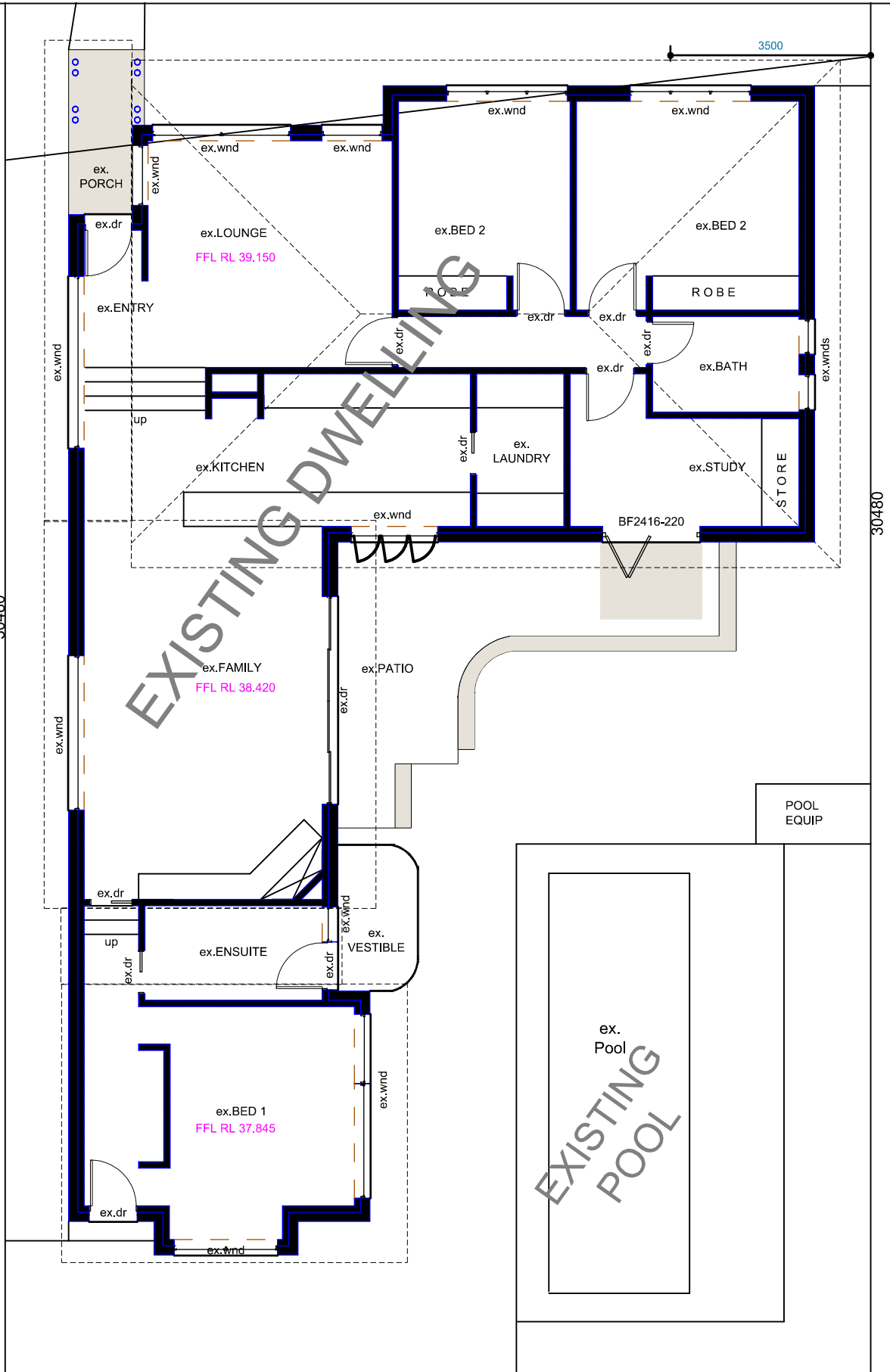
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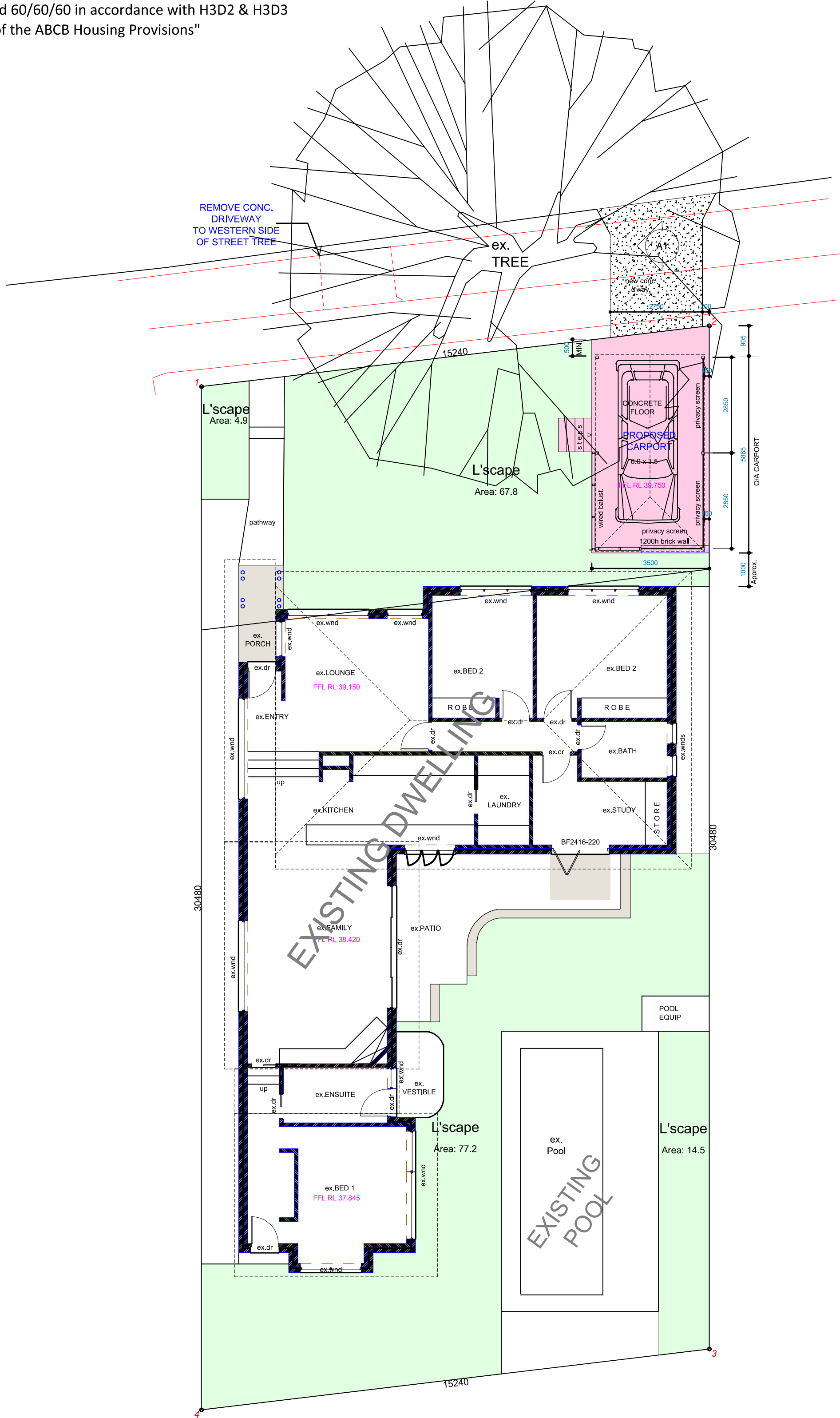
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EXISTING FLOOR PLAN
& INGROUND POOL

Scale: 1:100	Drawn By: dbb	Drawing No. 03
Date: 20/02/24	Issue: DA-A	



"Middle separating walls designed 60/60/60 in accordance with H3D2 & H3D3 and in accordance with Part 9.2 of the ABCB Housing Provisions"

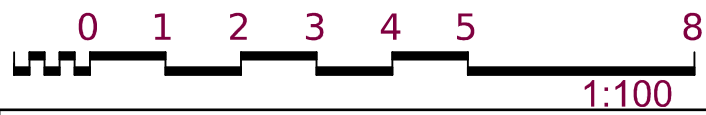


Floor Plan Legend		Proposed Ground/ Floor Level
	CSD	Cavity Sliding Door
	CT	Ceramic Tiling
	DP	Downpipe
	DR	Drain
	FW	Floor Waste
	GA	Gas Point
	LOH	Lift Of Hinges
	RT	Selected Roof Tiles
	SF	Selected Flooring
	STC	Steel Troweled Concrete
	TFT	Terra-Cotta Floor Tiles
	PTF	Polished Timber Flooring
	SA	Smoke Alarms AS3786-2014

WATERPROOFING NOTE:
ALL WATERPROOFING TO BE IN
ACCORDANCE WITH AS 3740:2021

NOTE: CARPENTER TO REFER
TO WET AREAS LAYOUT
PAGE FOR FLOOR DRAINAGE
POSITIONS WHEN
POSITIONING FLOOR JOISTS

- NOTES:
- ALL EXHAUST FANS TO BE DUCTED TO OUTSIDE AIR
 - MECHANICAL VENTILATION TO COMPLY WITH NCC 2022 (10.8.2)
 - DUCT KITCHEN RANGEHOOD TO OUTSIDE AIR
 - PROVIDE ALARM SYSTEM
 - PROVIDE REMOTE CONTROL TO GARAGE DOORS
 - PROVIDE DUCTED REVERSE CYCLE AIR CONDITIONING
 - SMOKE ALARMS TO BE INSTALLED & INTERLOCKED AS PER NCC 2022 (9.5.1)



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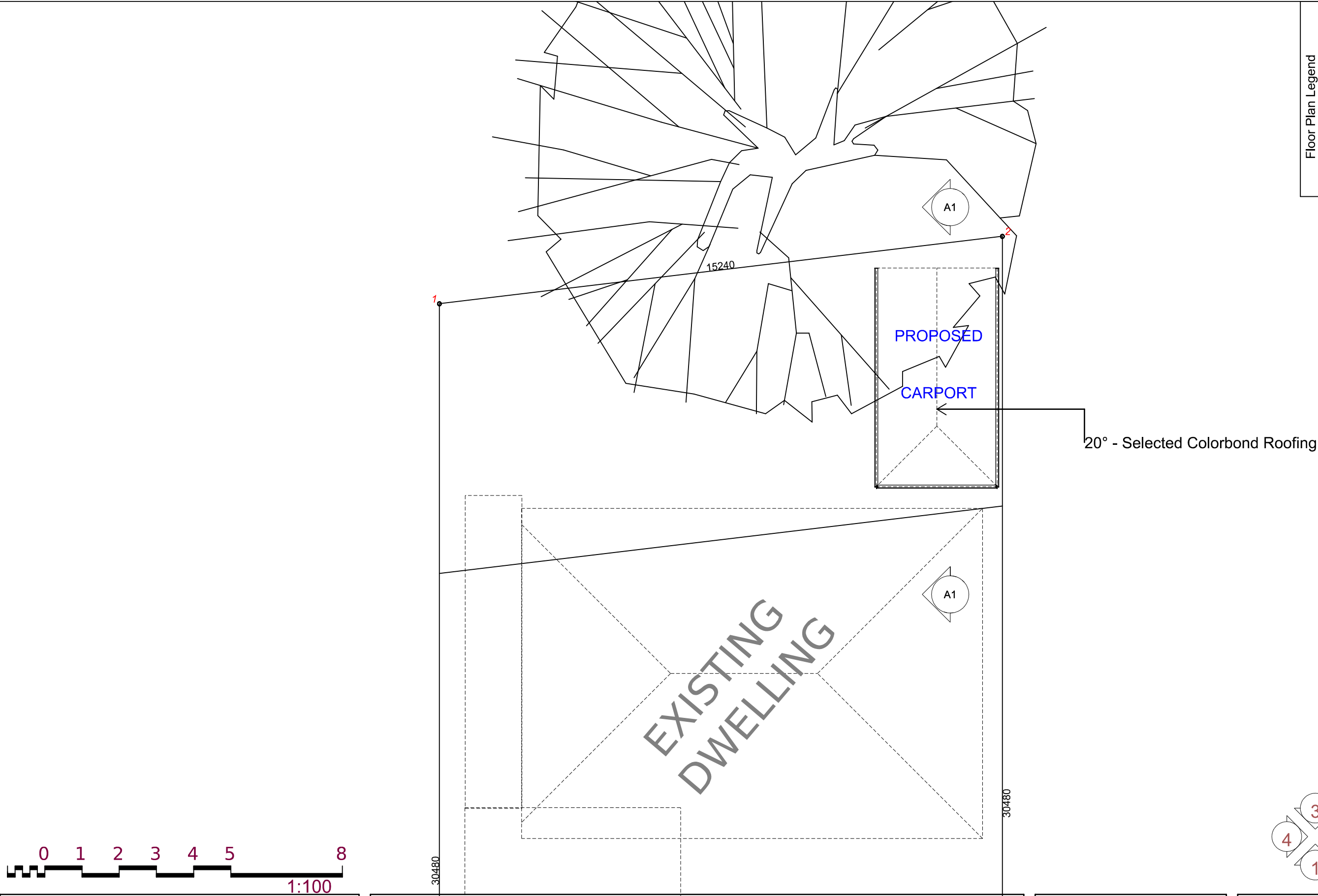
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GROUND FLOOR PLAN

Scale:	Drawn By:	Drawing No.
1:100	dbb	04
Date:	Issue:	
20/02/24	DA-A	

Floor Plan Legend	●	Proposed Ground/ Floor Level
	CSD	Cavity Sliding Door
	CT	Ceramic Tiling
	DP	Downpipe
	DR	Drain
	FW	Floor Waste
	GA	Gas Point
	LOH	Lift Of Hinges
	RT	Selected Roof Tiles
	SF	Selected Flooring
	STC	Steel Troweled Concrete
	TFT	Terra-Cotta Floor Tiles
	PTF	Polished Timber Flooring
	SA	Smoke Alarms AS3786-2014



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ROOF FLOOR PLAN

Scale:
1:100

Drawn By:
dbb

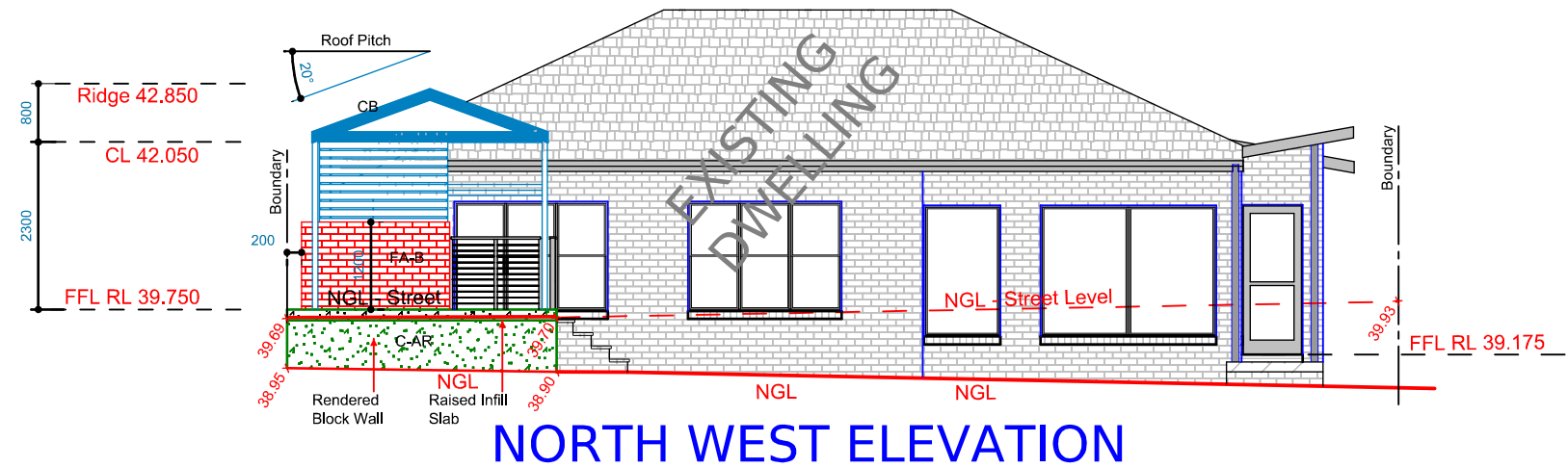
Date:
20/02/24

Issue:
DA-A

Drawing No.
05

Elevation Legend	CB	Colourbond Roofing
	C-AR	Blocks Acrylic Render
	FA-B	Face brickwork

⚡ Eaves Lining / Vertical Lining /
Non Combustible / Eaves Setback
Vertical lining eave separation H3D4 Part 9.2 & 9.3





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FRONT ELEVATION

Scale:
1:100

Date:
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Drawn By:
dbb

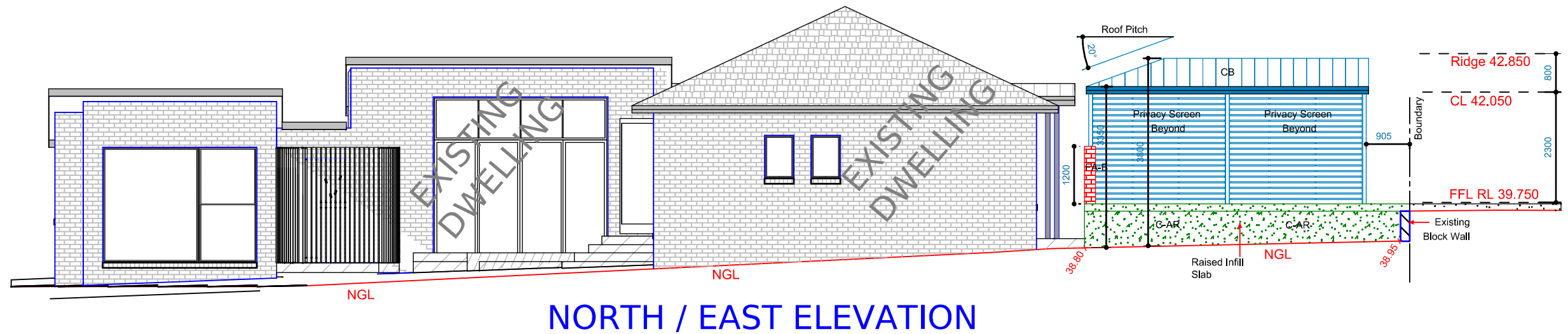
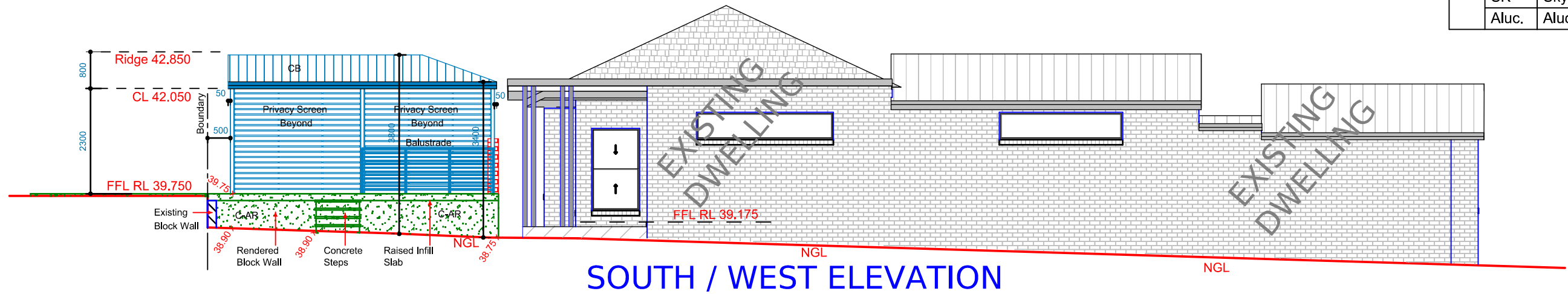
Issue:
DA-A

Drawing No.

06

⬮ Eaves Lining / Vertical Lining /
Non Combustible / Eaves Setback
Vertical lining eave separation H3D4 Part 9.2 & 9.3

Elevation Legend	(Obs)	Obscure Glazing
	C-AR	Commons Acrylic Rendr
	FA-B	Face brickwork
	F-AR	Fibro-Acrylic Render
	AX	Hardies Axon Clad
	FC	Fibre Cement
	CB	Colourbond Roofing
	RT	Roof Tiles Selected
	SK	Skylight
	Aluc.	Alucobond Panels



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ELEVATIONS

Scale:
1:100

Drawn By:
dbb

Date:
20/02/24

Issue:
DA-A

Drawing No.
07

NOTES:

- Check all dimensions on site prior to commencing any work by BUILDER or OWNER,
- Use only figured dimensions,
- Report any discrepancies prior to start of any construction work,
- Do not scale from drawings,

● Prior to any excavation on site, BUILDER or OWNER

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● All services (Sewer and Easements) must be checked on site before starting of any construction work,

● Downpipes to be verified on site by PLUMBER or BUILDER or if HYDRULIC ENGINEER drawing if they have been provided, WC doors to comply with the 3.8.3 of NCC Volume Two

Facilities, clause 3.8.3.3 " Construction of Sanitary Compartments",

All glazing to the development to comply with the NCC Part 3.6 Glazing,

All the gutters and downpipes to comply with the NCC Part 3.5.2

All timber walls and trusses to comply with the NCC

Part 3.4.3 Timber Framing and Australian Standard 1684,

Termite protection to be in accordance with Australian Standard

3660.1-1995,

Waterproofing to all wet areas to ground and first floor to comply with

the NCC Part 3.8.1,

Mechanical ventilation to all internal bathrooms and WC to

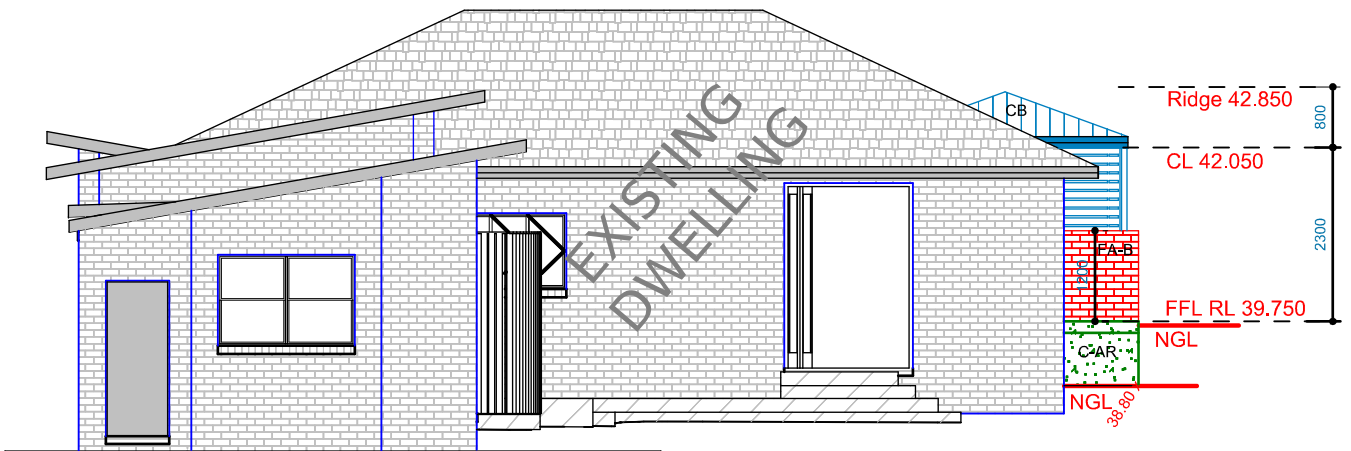
comply with the Part 3.8.5,

Balustrading to internal and external to comply with the NCC

Australia Part 3.9, " Safe Movement & Access".

* ALL STEEL BEAMS & TIMBER BEAMS TO BE

IN ACCORDANCE WITH ENGINEERS DETAILS.

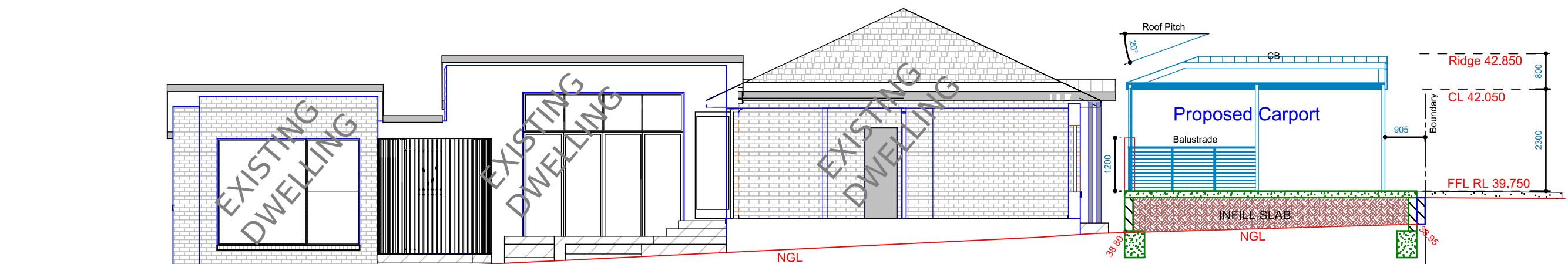


SOUTH EAST ELEVATION


Elevation Legend	(Obs)	Obscure Glazing
	C-AR	Commons Acrylic Rendr
	FA-B	Face brickwork
	F-AR	Fibro-Acrylic Render
	AX	Hardies Axon Clad
	FC	Fibre Cement
	CB	Colourbond Roofing
	RT	Roof Tiles Selected
	SK	Skylight
	Aluc.	Alucobond Panels

⚡ Eaves Lining / Vertical Lining /
Non Combustible / Eaves Setback

Vertical lining eave separation H3D4 Part 9.2 & 9.3



SECTION A - A



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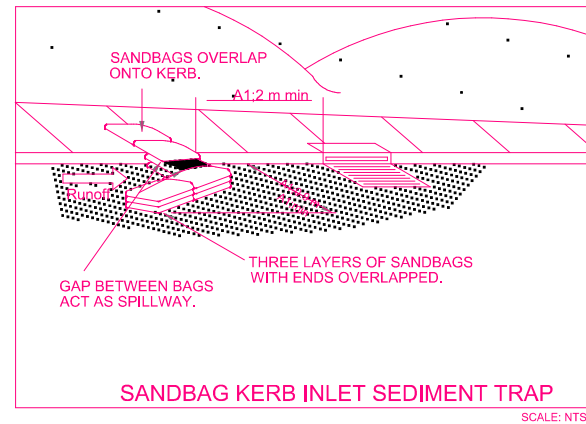
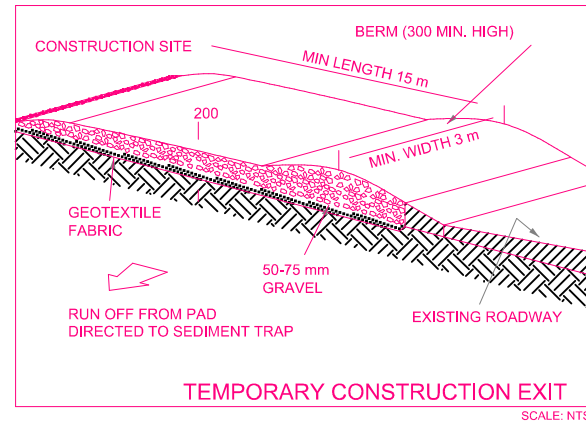
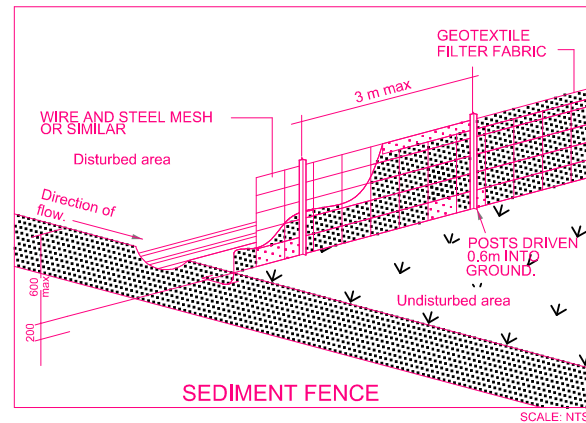
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REAR ELEVATION /
SECTION

Scale: 1:100	Drawn By: dbb	Drawing No. 08
Date: 20/02/24	Issue: DA-A	



WARNING

SOIL & WATER:

- * INSTALL SEDIMENT CONTROL FENCES ALONG THE LOW SIDE OF THE SITE BEFORE WORK BEGINS.
- * STABILISE A SINGLE ENTRY/EXIT POINT USING LARGE AGGREGATE.
- * MINIMISE DISTURBANCE OF VEGETATION DURING EXCAVATION.
- * PLACE SOIL STOCKPILES BEHIND SEDIMENT FENCING.
- * KEEP THE ROAD AND FOOTPATH CLEAN BY SWEEPING REGULARLY.

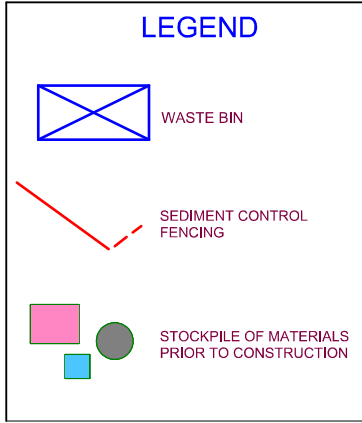
WASTE:

- * CONSTRUCT TWO (2) WASTE BAYS TO ASSIST SORTING AND RECYCLING OF WASTE.
- * ALL WASTE MUST BE CONTAINED IN WASTE BAYS.
- * REUSE AND RECYCLING OF WASTE SHOULD BE MAXIMISED.

EROSION CONTROL:

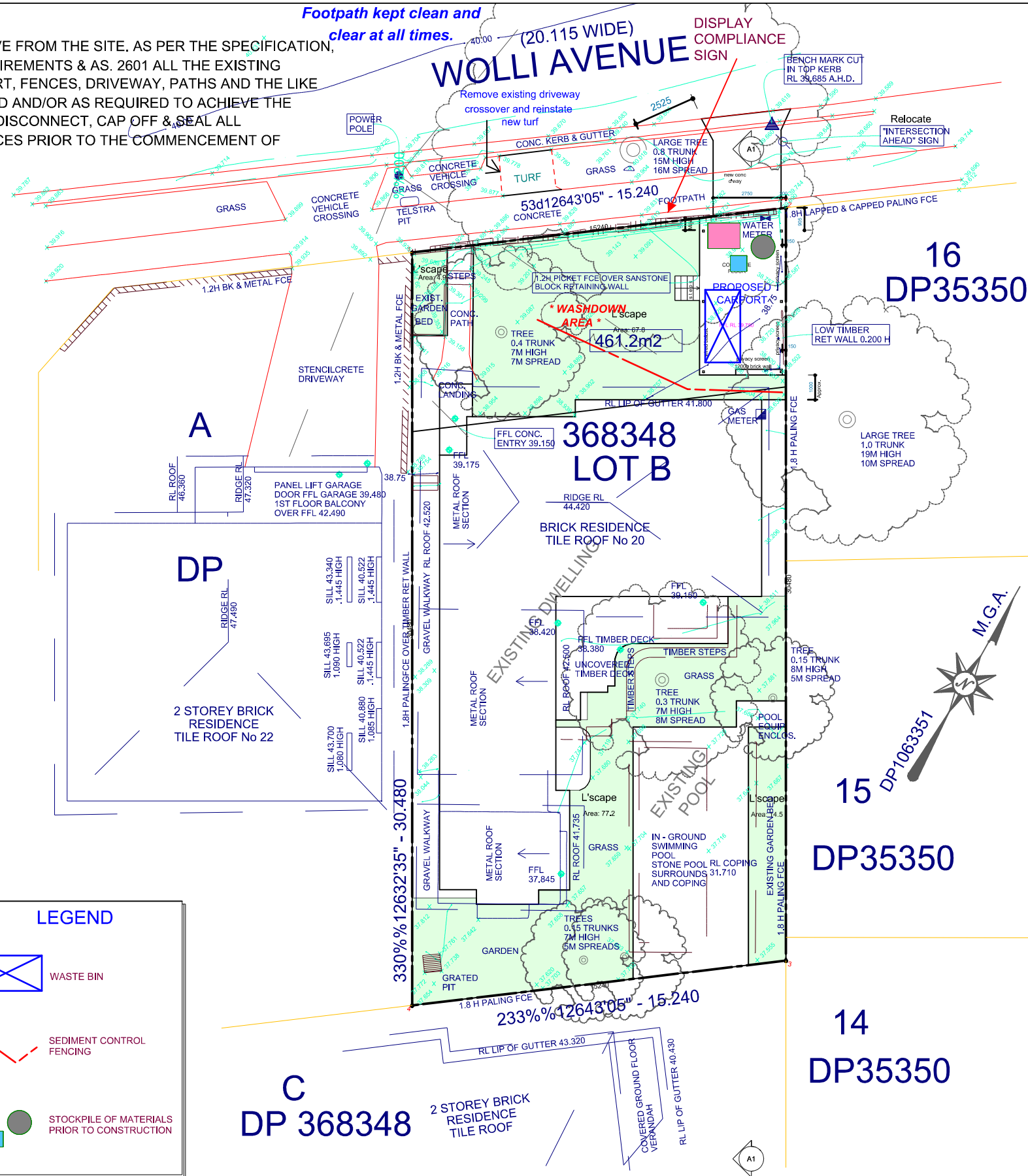
All disturbed areas shall be progressively stabilised and/or revegetated so that no areas remain exposed to potential erosion damage for a period of greater than 14 days.

SHAW AVENUE



DEMOLISH & REMOVE FROM THE SITE. AS PER THE SPECIFICATION, THE COUNCIL REQUIREMENTS & AS. 2601 ALL THE EXISTING BUILDINGS, CARPORT, FENCES, DRIVEWAY, PATHS AND THE LIKE AS SHOWN HATCHED AND/OR AS REQUIRED TO ACHIEVE THE PROPOSED WORK. DISCONNECT, CAP OFF & SEAL ALL REDUNDANT SERVICES PRIOR TO THE COMMENCEMENT OF DEMOLITION

Footpath kept clean and clear at all times.



WASTE MANAGEMENT NOTES

- 0.LOCATION OF STOCKPILE MATERIAL & WASTE. ie.
- 1.BRICKS, TILES & SIMILAR MATERIALS.
- 2.TIMBER OFFCUTS AND RECYCLABLE MATERIALS.
- 3.WASTE FOR LANDFILL DISPOSAL OF DEMOLITION MATERIALS TO WASTE DISPOSAL CENTRE
- 4.SELECTED STRUCTURAL TIMBER, BRICKS & TERRA-COTTA OR COLBOND ROOF CONSTRUCTION OF PROPOSED RESIDENCE

- NOTES**
- 1.SOIL AND EROSION CONTROL MEASURES:
 - i) NO PARKING OR STOCKPILING OF MATERIAL IS PERMITTED ON FOOTPATH.
 - ii) ACCESS IS TO BE GAINED VIA TEMPORARY ENTRY
 - iii) SILT STOP FENCING TO BE PLACED ALONG THE NORTH, SOUTH AND WEST BOUNDARIES. PROVIDE SILT STOP FENCING ON THE EASTERN SIDE WHERE SHOWN ON PLAN.
 - 2.MAINTENANCE PROCEDURES DURING CONSTRUCTION:
 - i) ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AT ALL TIMES SO THAT THOSE MEASURES ARE FULLY FUNCTIONAL/OPERATIONAL DURING THE CURRENCY OF WORKS. ALL SUCH CONTROLS MUST ALSO BE FULLY FUNCTIONAL/ OPERATIONAL SHOULD WORK OPERATIONS CEASE TEMPORARILY. (eg WEEKENDS, ROSTERED DAYS OFF, etc.)
 - ii) ALL FILTER BARRIERS ARE TO BE REGULARLY INSPECTED, PARTICULARLY FOLLOWING RUNOFF EVENTS, SO THAT DISLODGED OR BROKEN BALES/BAGS CAN BE IMMEDIATELY REPLACED. SEDIMENT ACCUMULATION BEHIND STRAWBALE SANDBAGS SHALL BE REMOVED.
 - iii) RESPREAD MATERIAL GAINED DURING MAINTENANCE OPERATION OR ALTERNATIVELY PLACE ON STOCKPILES.

- NOTES:**
1. MINIMISE DISTURBED AREAS.
 2. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATH.
 3. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
 4. ALL TRUCK LOADS ARE TO BE COVERED WHEN ENTERING AND EXITING THE SITE SO AS TO AVOID SPILLAGE.

ANY DAMAGE TO EXISTING &/OR ADJOINING PROPERTY &/OR SERVICES IS TO BE MADE GOOD WITH MINIMAL IF ANY INCONVENIENCE TO ALL PROPRIETORS. IF ANY DAMAGE IS DUE TO NEGLIGENCE, IT IS TO BE RECTIFIED AT THE COST OF THE NEGLIGENCE PARTY WHICH CAUSED THAT DAMAGE.

- NOTES:**
- VEHICLES CARRYING LOOSE BUILDING MATERIALS TO BE COVERED IN COMPLIANCE WITH ROAD TRAFFIC REGULATIONS. SAFE ACCESS FOR HEAVY EQUIPMENT PLANT AND MATERIALS DELIVERY.
 - SEDIMENT CONTROLS TO BE PLACED ACROSS DRIVEWAY

- NOTES:**
- PROVIDE 1800mm HIGH SAFETY & SECURITY FENCE FOR THE DURATION OF THE DEMOLITION & CONSTRUCTION WORKS. SILT FENCE, GEOTEXTILE FABRIC OR THE EQUIVALENT TO ALL BOUNDARIES

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bdac
ACCREDITED
BUILDING DESIGNER

experienced & practising designer & builder Since 1997

Client :
Mr & Mrs Meylakh

Project Title :
**Proposed Carport at:
Lot B, 20 Wolli Avenue, Earlwood**

E	17/05/24	DA SUBMISSION
D		
C		
B		
A	Date	Revision

Not FOR CONSTRUCTION

Note:
-Do not scale off drawings
-All works to be setout by a registered survey
-Builder or contractor to verify all dimensions & levels as well notify the designer of any discrepancies prior to commencing any work
-Refer to Engineers drawings for structural details
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SOIL EROSION & WASTE MANAGEMENT PLAN		
Scale:	Drawn By:	Drawing No.
1:200	dbb	09
Date:	Issue:	
20/02/24	DA-A	

